

# Building Inspection Report

123 Sherlock Ct; Bloomington, IN 47401

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**Inspection Date:**  
07/23/2013

**Prepared For:**  
Sherry Holmes

**Prepared By:**  
Sherlock Homes Inspection Svc., Inc.



**Report Number:**  
001

**Inspector:**  
Lee Van Buskirk

**License # HI00500225**

**Reviewed By:** David Ray

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# Report Overview

## THE CONDITIONS AT THE TIME OF INSPECTION

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Weather conditions during inspection: Overcast to partial clearing  
Outside Temperature: 69°Degrees  
Building is: Vacant  
Soil conditions at time of Inspection: Wet  
Present at Inspection:  Buyer  
Building Faces: West

## CONVENTIONS USED IN THIS REPORT

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For your convenience, the following conventions have been used in this report.

**Major Concern:** a system or component which is considered significantly deficient or is unsafe. Significant deficiencies need to be corrected and, except for some safety items, are likely to involve significant expense.

**Safety Issue:** denotes a condition that are unsafe and in need of prompt attention.

**Repair:** denotes a system or component which is missing or which needs corrective action to assure proper and reliable functioning.

**Improve:** denotes a system or component that is performing its intended function, but its operation, and/or installation is less than ideal. Further evaluation and/or repairs maybe needed.

**Monitor:** denotes conditions present that are defective and/or that have limited life expectancies, but have not and may not contribute to a significant defect or repair at this time.

**Environmental Concern:** denotes a condition that may affect the health or well being of the occupants.

## MAJOR CONCERN & POSSIBLE MAJOR CONCERN/ SUMMARY

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The list of items below are taken from the inspection report accompanying this summary; and in the inspector's opinion, constitute major concerns and/or possible major concern about the residence.

A **major concern** is generally held to mean an item has been identified as either significantly affecting the residence and/or can be considered a potentially expensive repair or replacement.

A **possible major concern** is generally held to mean the item identified could significantly affect the residence and/or information gained at the inspection was not conclusive.

This summary page should not be considered a complete list of deficiencies within the residence. Items needing further evaluation may also be listed. Environmental Concerns may not be listed in this summary. If your report reflects environmental concerns you should seek further information and/or testing from a qualified professional.

(Note: Items of major concern will be *italicized* and listed in **red** within the report. Items of possible major concern will be *italicized* and listed in **Black** within the report)

***Rotted window/door trim:***

**Please refer to the siding section of this report.**

***Poor condition of gutter:***

**Please refer to the gutter and drainage section of this report.**

***Wet to Damp Basement:***

**Please refer to the basement section of this report.**

***Improperly wired devices:***

**Please refer to the electrical branch circuit section of this report.**

***Age of water heater:***

**Please refer to the water heater section of this report.**

***Age of A/C Unit:***

**Please refer to the air conditioner/heat pump section of this report.**

## THE SCOPE OF THE INSPECTION

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All accessible components designated for inspection in the ASHI® Standards of Practice are inspected, except as may be noted in the “Contract for inspection services” and this inspection report.

If you have elected to have an Energy Survey performed, all accessible components designated for inspection in the purposed RESNET Standards of Practice are inspected, except as may be noted in the “Contract for inspection services” and this inspection report.

**Not all improvements will be identified during this inspection. *Unexpected repairs should still be anticipated.* The inspection should not be considered a guarantee or warranty of any kind.**

- **Please refer to the Description sections of this report for other limitations to the inspection.**
- **Note:** This inspection is visual only. A representative sample of building components are viewed in areas that are accessible at the time of the inspection. No destructive testing or dismantling of building components is performed.
- **Note:** There are areas of the home that are either have excessive storage and/or cluttered conditions. This report will not include conditions which maybe present that are inaccessible.

**Effected areas: Garage.**

**Please refer to the inspection contract for a full explanation of the scope of the inspection.**

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*Sherlock Homes Inspection Service Inc*



**Bloomington 812-339-5828**

**Columbus**

**812-372-5556**

**Indianapolis**

**317-639-9363**

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# Foundation

## DESCRIPTION OF FOUNDATION

---

Foundation Materials:      Block      Concrete  
Foundation Type:      Crawl Space      Basement  
Type of Structure:      Wood Frame  
Viewed From:      Basement      Crawl Space      Foundation Reveal  
Viewed Limited by:      Insulation      Finished walls      Vegetation      Close proximity to earth  
   Other

## FOUNDATION OBSERVATIONS

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1. The foundation walls appear to be in good condition and show signs of only minimal settling for their age.      Yes      No
2. The mortar joints in the masonry elements appear to be in good condition and well maintained.      Yes      No

## RECOMMENDATIONS / OBSERVATIONS

- **Monitor:** Common minor settlement cracks were observed in the foundation walls. This implies that some structural movement of the building has occurred. Cracks of this type should be watched for any sign of additional movement. In the absence of any sign of ongoing movement, repair should not be necessary.

**Location of condition:**      **North side of the foundation.**



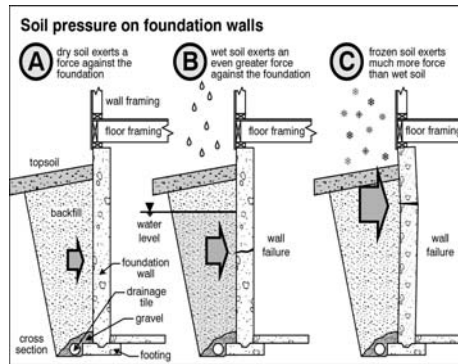
- **Monitor:** There are areas where water could collect next to the foundation walls. Water collecting next to the foundation walls may allow hydrostatic pressure to cause movement in masonry and/or concrete components of the building. An effort should be made to ensure that all water runoff can easily escape the foundation walls so that potential movement can be kept to a minimum. Please refer to the guttering and drainage section of this report.

**Location of condition:**            **Portions of some of the elevations are level.**

- **Monitor:** There appears to be too much soil or backfill against an un-reinforced foundation wall. Excessive depth of soil may contribute or cause movement in the foundation. The maximum depth of soil is limited by the thickness of the wall. For example the maximum depth of soil against an un-reinforced 8-inch concrete block is 4 feet while the maximum depth of soil against an un-reinforced 12-inch concrete block is 7 feet. It is critical that water runoff is kept well away from the foundation wall so that movement related to hydrostatic pressure can be kept to a minimum.

Please refer to the gutter and drainage section of this report for conditions which may contribute to movement.

**Location of condition:**            **West basement foundation wall.**



Please also refer to the inspection contract for a detailed explanation of the scope of this inspection.

# Exterior Wall Coverings

## DESCRIPTION OF EXTERIOR WALL COVERINGS

---

Wall Covering: Wood trims Vinyl Brick Combination  
Viewed Limited by: Vegetation Other

## EXTERIOR WALL COVERINGS OBSERVATIONS

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### Exterior Walls

- |   |   |                             |
|---|---|-----------------------------|
| 1. The siding appears to be in good condition and only shows signs of normal wear for its age.                  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| 2. The fascia boards and/or soffits appear to be in good condition and show signs of normal wear for their age. | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| 3. The brick or stone veneer appears to be secure to the framing.   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| 4. The finished facing on the veneer appears to be in good condition and well maintained.                       | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |

## RECOMMENDATIONS / OBSERVATIONS

- **Improve:** Algae is accumulating on the siding. The algae accumulation appears to be related to lack of sunlight and/or air flow along this elevation. An effort should be made to clean and remove the algae.

Location of condition: North side of the house siding.





- **Improve:** The exterior finishes are in need of painting or staining. Repairs should be undertaken to avoid further deterioration of the building.

**Location of condition:** Wood trims around the living room east exit door.



- **Repair:** The window trim and/or sill are rotten. The deteriorated wood is conducive to wood destroying insect infestation and should be repaired or replaced as soon as possible.

**Location of condition:** Both basement north windows.



- **Repair:** The door trim and/or sill are rotten. The deteriorated wood is conducive to wood destroying insect infestation and should be repaired or replaced as soon as possible.

**Location of condition:** Basement exit door.



- **Improve:** The head flashing and/or drip cap is missing above the door(s). The flashing should be designed to divert water, which may collect on top of the door trim. In lieu of flashing, caulking between the door trim and siding may help to prevent water accumulation.

**Location of condition:** Above the garage service door.



- **Repair:** Tree branches should be trimmed away from the house.

**Location of condition:** Northwest corner of the house.

- **Improve:** The plant growth should be cut back or removed to help prevent deterioration of the exterior wall finish that may be caused from excessive moisture retention as a result of the close proximity of the plantings to the home.

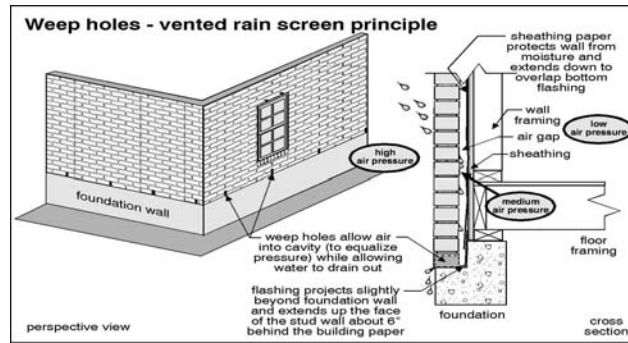
**Location of condition:** Various areas around the house mostly on the west side.

- **Improve:** The caulking where the windows, doors, and/or sidings adjoins the brick veneer appears to be in poor condition or is missing. It is important that this area be well sealed to help prevent water from entering the wall cavity.

**Location of condition:** Between some of the windows and the brick veneer.



- **Monitor:** The veneer lacks weep holes. The absence of weep holes may allow water to accumulate in the wall cavity. Weep holes are often omitted and many times their omission does not create a deficiency. If heavy efflorescence is observed on the veneer, trapped water may be indicated, the installation of working weep holes may be required.



Please also refer to the inspection contract for a detailed explanation of the scope of this inspection.

# Roof

## DESCRIPTION OF ROOF

---

Roof type:  Gable  
 Roof Slope:  Medium  
 Roof Surface:  Composite Shingle  
 Roof Viewed from:  On Roof  Ground  
 Number of Surface Layers Present:  One

## DESCRIPTION OF ROOF FRAMING

---

Sheathing Type:  Composite Board  
 Roof Ventilation:  Ridge Vent  Soffit Vents  
 Framing Type:  Rafters  Trusses  
 Attic Viewed From:  Within attic limited access  
 Attic Not viewed due to:  Insulation  
 INSULATION: HOUSE: APPROXIMATELY 10 TO 12 INCHES

## ROOF OBSERVATIONS

---

- |   |  |
|---|--|
| 1. The roof surface appears to be in good condition and well maintained, only showing signs of normal wear for its age. | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  |
| 2. The roof surface appears to be properly installed and/or free of conditions which could produce active roof leaks.   | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No  |
| 3. The roof sheathing accessible in the attic appears to be in good condition and well maintained.                      | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No<br><input type="checkbox"/> Not accessible |
| 4. The bottom side of the roof sheathing, accessible from the attic showed signs of normal wear for it age.             | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No<br><input type="checkbox"/> Not accessible |
| 5. The rafters and/or trusses accessible from the attic appear to be in good condition and properly supported.          | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No<br><input type="checkbox"/> Not accessible |

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6. The movement in the roof surface appears to be consistent with homes in this age range. Yes No  
Not accessible

**RECOMMENDATIONS / OBSERVATIONS**

- **Monitor:** The roof surface is worn. The amount of deterioration appeared to be consistent on all roof surfaces. Typically this type of roof surface will last 20 to 25 years. It will not be possible for the inspector to determine the age of the roof.



Roof surface worn, but in fair condition

- **Improve: Monitor:** There is an area of the roof that drains into a very small area. This area of the roof should be monitored for potential leaks particularly during snow accumulation. This area of the roof may require periodic maintenance and will be a source for ice damming.

**Location of condition:**        **Above the front entry door.**



- **Improve:** The insulation in the attic is compressed/displaced. This condition will reduce the effectiveness of the insulation. Consideration should be given to installing additional insulation.

**Location of condition:**        **Middle of the attic where people have walked.**





Views within the attic

Please also refer to the inspection contract for a detailed explanation of the scope of this inspection.

# Guttering & Drainage

## DESCRIPTION OF GUTTERING & DRAINAGE

---

Guttering Type:  Aluminum

## GUTTERING & DRAINAGE OBSERVATIONS

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- |   |                              |  |
|---|------------------------------|--|
| 1. The guttering and downspouts appear to be in good condition and capable of directing water run-off well away from the foundation walls.                                  | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
| 2. The elevations around the home appears to slope well away from the foundation walls thereby minimizing potential water penetration into the basement and/or crawl space. | <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |

## RECOMMENDATIONS / OBSERVATIONS

**Note:** The issues with the guttering and drainage have caused some moisture issues in the basement.

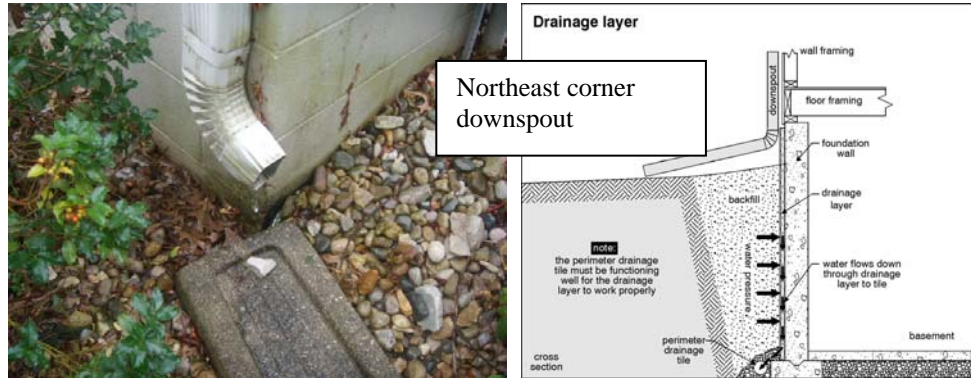
- **Repair:** The guttering is dirty and needs to be cleaned to avoid spillage of roof water run-off next to the building. This water accumulation next to the building may contribute to water penetration into the basement or crawl space, can contribute to movement in foundation walls from hydrostatic pressure, and is conducive to termite infestation and other forms of wood destroying infestation.





- **Repair:** The downspout is not extended far enough away from the foundation wall. This condition should be corrected to avoid water spillage next to the building. This water accumulation next to the building may contribute to water penetration into the basement or crawl space, can contribute to movement in foundation walls from hydrostatic pressure, and is conducive to termite infestation and other forms of wood destroying infestation.

**Location of condition:** Some of the downspouts.



- **Repair:** The downspout is not fully extended into the sub-surface drain tile. This condition is allowing water to accumulate next to the building. The downspouts should be fully extended into the sub-surface drains.

**Location of condition:** The west middle downspout.



- **Note:** The downspouts that discharge below grade level maybe clogged. You may want to consider redirecting the downspouts at least five (5) feet from the building above the ground if they do clog. Foundation leakage adjacent to a downspout is an indication of a problem below grade.
- **Improve: Improve:** The ground slopes toward the foundation wall. The resulting water accumulation next to the building, may contribute to water penetration into the basement or crawl space, can contribute to movement in foundation walls from hydrostatic pressure, and is conducive to termite infestation and other forms of wood destroying infestation.

**Location of condition:** Portions of the west elevation.

- **Monitor: Improve:** The ground next to the home is level. The ground should slope at least 6 inches away from the building within the first 10 feet to help reduce the potential for water penetration into a crawl space or basement, and/or contribute to movement in the foundation walls or footing.

**Location of condition:** Portions of the west and north elevations near the house.

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- **Monitor: Improve:** The walk has settled and now slopes toward the foundation wall. The resulting water accumulation next to the building, may contribute to water penetration into the basement or crawl space, can contribute to movement in foundation walls from hydrostatic pressure, and is conducive to termite infestation and other forms of wood destroying infestation.

**Location of condition: Front sidewalk.**



- **Monitor:** The exterior stoop, patio or stairwell is on the same elevation as the finished floor level. The resulting water accumulation next to the building, may contribute to water penetration into the basement or crawl space, can contribute to movement in foundation walls from hydrostatic pressure, and is conducive to termite infestation and other forms of wood destroying infestation.

**Location of condition: Rear basement door area.**

Please also refer to the inspection contract for a detailed explanation of the scope of this inspection.

# Basement & Crawl Space

## DESCRIPTION OF BASEMENT & CRAWL SPACE

---

Foundation Type: Crawl Space Basement  
 Viewed From: Basement Crawl Space  
 Viewed Limited by: Insulation Finished walls Floor coverings Cabinets or shelving Other  
 Basement: Drainage system: Floor drain  
 Crawl space: Drainage system None observed  
 Ventilation crawl space: Un-vented  
 Insulation: Floor cavity(Crawl space) Foundation wall (crawl space)

## BASEMENT & CRAWL SPACE OBSERVATIONS

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- |   |   |  |
|---|---|--|
| 1. The basement appeared to be relatively dry at the time of inspection.            | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |
| 2. The basement appears to be free of indications of previous water penetration.    | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |
| 3. The crawl space appeared to be relatively dry at the at the time of inspection.  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 4. The crawl space appears to be free of indications of previous water penetration. | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |

## RECOMMENDATIONS / OBSERVATIONS

**NOTE:** Please refer to the gutter and drainage section of this report for conditions which could contribute to water penetration into the basement and/or crawl space.

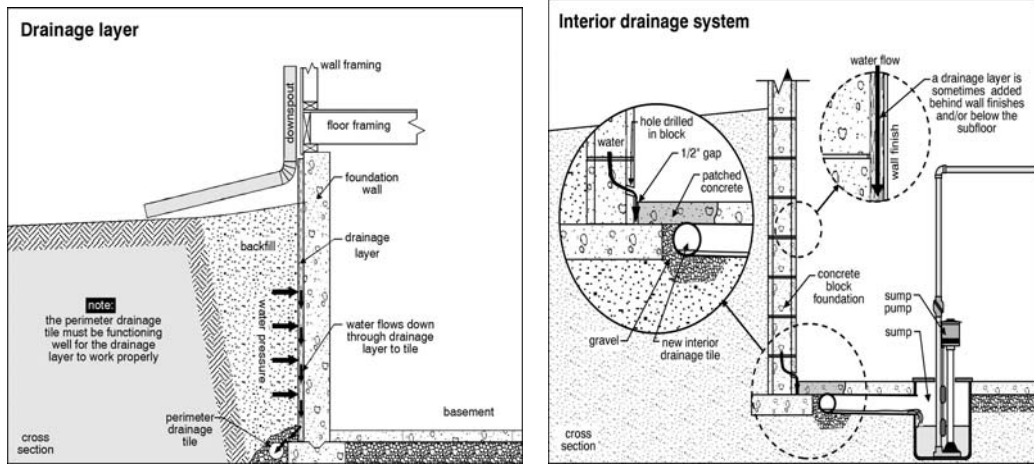
- Major Concern: Repair:** The basement and/or foundation walls were damp or wet at the time of inspection. *While it is impossible to predict the severity or frequency of moisture penetration on a one time visit to a home, the visible evidence suggests that basement leakage will be a chronic occurrence.* Further monitoring of the foundations will be required to determine what improvements will be required.  
 The vast majority of basement leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundations. **Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation, or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation, are the most common source of basement leakage.**  
 In the event that chronic basement leakage problems are experienced, excavation, damp-proofing and/or the installation of drainage tiles may be necessary. Your plans for using the basement may also influence the approach taken to curing any leakage that is experienced. If the leakage can be tolerated, expensive repairs can usually be avoided.

Please refer to the guttering and drainage sections of the report for more information.

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## Basement Damp Proofing Methods



Location of condition: West wall of the laundry room closet.



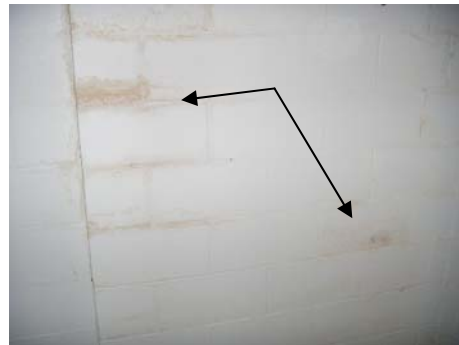
Damp walls

- **Major Concern: Repair:** There is evidence that the basement may have gotten some seasonal water penetration in the past. The evidence included but may not be limited to powdery white mineral deposits visible on the foundation walls, stains along walls, columns or mechanical equipment, musty odor or mildew present, storage in the basement elevated off the floor, and/or

an interior water control system that has been added possibly in an effort to address prior water penetration. Please refer to the guttering and drainage section of this report for conditions which may be contributing to water penetration.

**Note:** The foundation drain, (the drain at the base of the exterior wall which is intended to intercept water), and the method and quality of the foundation wall damp proofing could not be viewed by the inspector. This report will not reflect conditions which may be present but were not accessible.

**Location of condition:** Along the north and east basement walls.



- **Monitor:** Some of the basement walls and/or floors have been painted. The painted surfaces limit the scope of the inspection as any evidence of prior water penetration has been obscured. Opinions regarding the dryness of the basement may not be conclusive. Please refer to the guttering and drainage sections of this report for conditions that may be conducive to contributing to water penetration.

- **Improve: Environmental Concern:** There is mold like substance accumulating on the wall or ceiling finishes. Mold generally indicates an elevated moisture content within the home. This moisture may be the result of prior roof leaks, plumbing leaks, mechanical component leaks, water penetration into a basement or crawl space, lack of adequate air circulation, and/or areas where warm and cold air are condensing on the finishes. An effort should be made to reduce the moisture sources and to remove the mold.

**Location of condition:** Northeast corner of the basement block wall.



- **Note:** At a minimum a dehumidifier should be run to help reduce the moisture content in the basement.
- **Monitor:** Basement leakage problems can sometimes develop as a result of damaged, congested or ineffective perimeter foundation drainage tiles (often referred to as “weeping tiles”). It is impossible to predict the condition of drainage tiles during a visual inspection of the basement.
- **Monitor:** Depending on the location of the house, ground water tables can sometimes influence basement leakage. Ground water levels tend to fluctuate seasonally and during heavy rainfall. It is impossible to predict what influence ground water may have during a one-time inspection of a home. If ground water levels extend above the height of the basement floor, the performance of the perimeter foundation drainage tile is very important. If ground water fluctuation causes basement leakage, the installation of effective drainage tiles (and sump pumps, in some cases) becomes necessary.
- **Monitor:** No evidence of moisture penetration was visible in the crawl space at the time of the inspection. ***It should be understood that it is impossible to predict whether moisture penetration will pose a problem in the future.*** The vast majority of leakage problems are the result of insufficient control of storm water at the surface. The ground around the house should be sloped to encourage water to flow away from the foundations. Gutters and downspouts should act to collect roof water and drain the water at least five (5) feet from the foundation, or into a functional storm sewer. Downspouts that are clogged or broken below grade level, or that discharge too close to the foundation, are the most common source of leakage. Please refer to the Roofing and Exterior sections of the report for more information.



View within the  
crawl space

- **Improve:** The insulation vapor barrier has been installed improperly. The vapor barrier is facing the un-conditioned crawl space. The vapor barrier should be facing the conditioned space/living space or sub-floor. This condition could trap water vapor in the floor cavity.

# Wood Destroying Organisms

## DESCRIPTION OF WOOD DESTROYING ORGANISMS

---

Framing viewed from: Crawl Space Basement  
Viewed Limited by: Insulation Finished ceiling Finished walls Floor coverings  
Mechanical equipment Air ducting  
Exterior surfaces view limited by: Vegetation Other

## WOOD DESTROYING ORGANISMS OBSERVATIONS

---

- |   |   |                             |
|---|---|-----------------------------|
| 1. Accessible framing or siding appears to maintain adequate clearance from the earth.                | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| 2. Accessible wood framing or siding appears to be free of wood decay or wood destroying infestation. | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |

## RECOMMENDATIONS / OBSERVATIONS

### Conditions present that maybe conducive to Wood Destroying Organisms

- Poor exterior elevation which could permit moisture penetration.
- Rotted window or door trim.
- Poor condition of guttering.
- Wet to damp crawl basement. (seasonal)
- Some vegetation next to house.
- Poor exterior drainage conditions.

Please also refer to the inspection contract for a detailed explanation of the scope of this inspection.



# Interior Walls, Ceilings & Floors

## DESCRIPTION OF INTERIOR WALLS, CEILINGS & FLOORS

---

Floor Framing: Joist	<input checked="" type="checkbox"/> Wood			
Floor Framing: Beam	<input checked="" type="checkbox"/> Wood			
Floor Framing Sub floor:	<input checked="" type="checkbox"/> Composite Board			
Viewed From:	<input checked="" type="checkbox"/> Basement	<input checked="" type="checkbox"/> Crawl Space		
Viewed Limited by:	<input checked="" type="checkbox"/> Insulation	<input checked="" type="checkbox"/> Finished walls	<input checked="" type="checkbox"/> Finished ceiling	<input checked="" type="checkbox"/> Mechanical equipment
	<input checked="" type="checkbox"/> Air ducting	<input checked="" type="checkbox"/> Other		

## INTERIOR WALLS, CEILINGS & FLOORS OBSERVATIONS

---

- |   |   |  |
|---|---|--|
| 1. Interior walls and ceiling finishes appear to be in good condition for their age.  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 2. Interior walls and ceiling finishes appear to be free of water stains.   | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |
| 3. Interior walls and ceiling finishes appear to be free of indications of previous water penetration.                            | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |
| 4. The interior walls, ceilings and floors appear to be free from indications of excessive movement for a home in this age range. | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 5. The interior floors appear to be relatively level for a home in this age range.  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 6. Defects if any in the floor framing, appeared to be consistent with homes in this age range.                                   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |

## RECOMMENDATIONS / OBSERVATIONS

- **Monitor:** There are cracks and/or uneven areas in the wall and ceiling finishes. The cracks observed appear to be related to either shrinkage in wood framing and/or consistent movement with homes in this age range. Wood, over time, loses water content and as a result loses dimension. This loss of dimension causes cracks in drywall or plaster walls. Cracks can also be related to prior water penetration, under framed conditions and/or poor workmanship.

**Location of condition:**      Above the east living room exit door.

- **Monitor:** There are water stains in the wall or ceiling finishes. These stains appear to be related to water leaks through the foundation wall. The water stains should be sealed with a sealer prior to repainting. Consult the "Guttering & Drainage" section of this report for information regarding possible contributing causes to the stains.

**Location of condition:**        **Basement as pictured in the basement section of the report.**

- **Monitor:** There are angle and/or vertical cracks above or below window or door openings. These types of cracks generally indicate that some movement in the wall, ceiling or floor framing has occurred and repairs may be required to prevent further movement.

Angle and/or vertical cracks are also very common where doors are in very close proximity to exterior walls.

**Location of condition:**        **Above the Kitchen exit door.**

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

# Windows & Doors

## DESCRIPTION OF WINDOWS & DOORS

Window Type:      Wood      Clad Combination  
 Window Style:      Casement  
 Glass Type:      Single strength      Storms      Combination  
 Door Type:      Wood      Metal Combination

## WINDOWS & DOORS OBSERVATIONS

- |  |   |  |
|--|---|--|
| 1. The windows appear to be properly installed.  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 2. The windows appear to be properly installed, in good condition and well maintained. | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |
| 3. The interior and exterior doors appear to be properly installed.                    | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 4. The interior and exterior doors appear to be in good condition and well maintained. | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |

## RECOMMENDATIONS / OBSERVATIONS

- **Improve:** The screens were not installed on some the windows. The effected screens appeared to be stored in the home.

**Location of condition:**      **A count was not taken to match the number of stored screens to the number of windows without screens.**

- **Improve:** The window (s) would not fully open or close. Windows which will not fully open may not allow for proper egress in case of an emergency. Windows that are located in a bedroom should get higher priority for repair. Windows that will not fully close may allow for some weather penetration.

**Location of condition:**      **1-Soth kitchen nook window does not close easily.**



- **Repair:** The window trim and/or sill are rotten. The deteriorated wood is conducive to wood destroying insect infestation and should be repaired or replaced as soon as possible.

**Location of condition:** Both basement north windows.



- **Repair:** The door trim and/or sill are rotten. The deteriorated wood is conducive to wood destroying insect infestation and should be repaired or replaced as soon as possible.

**Location of condition:** Basement exit door.



- **Improve:** There is evidence of localized wood deterioration on the window (s). This wood deterioration should be repaired to avoid further deterioration of the window. The wood deterioration may be associated with the absence of adequate painting, caulking, glazing and/or flashing details.

**Location of condition:** The area between the window glass needs refinishing on some of the window.



- **Improve:** There has been animal damage to the door (s). Repair to the door should be considered.

**Location of condition:** North bedroom door.



- **Improve:** The exit door weather stripping is torn, loose, and/or missing. This condition may contribute to weather and/or insect entry into the building. Repairs should be undertaken.

**Location of condition:** Basement exit door bottom weather strip.



- **Improve:** The door rollers or hardware are missing, defective and/or do not operate properly. This condition is not allowing the door to close or open properly.

**Location of condition:** The front entry closet door top hardware needs adjusting for ease of closing the doors.

- **Improve:** The storm door screen is loose..

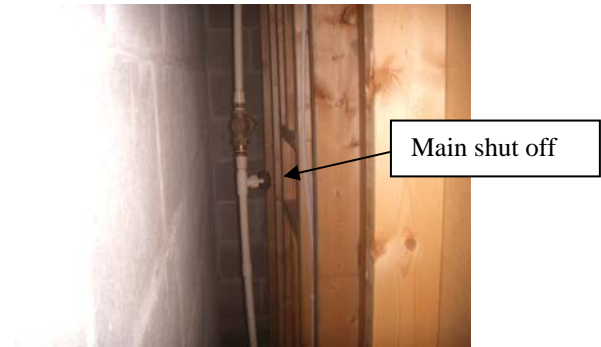
**Location of condition:** Living room exit door screen.



# Plumbing

## DESCRIPTION OF PLUMBING

- Type of supply lines: Plastic
- Type of DWV lines: Plastic
- Clean out location: Exterior
- Main water shut off location: Basement
- Fixtures not operated: Other



## PLUMBING OBSERVATIONS

1. Functional flow at all fixtures appears to be adequate. Yes No
2. The plumbing fixtures appear to drain adequately. Yes No
3. The plumbing fixtures appear to be properly installed to prevent the potential of cross-connections. Yes No  
Not checked
4. The supply and waste lines appear to be free of plumbing leaks. Yes No  
Not checked
5. The faucets in the home appeared to be in good working order. Yes No  
Not checked
6. The fixtures appear to be properly trapped. Yes No
7. The plumbing fixtures appear to be secured to the wall, floor and/or counter top. Yes No

## RECOMMENDATIONS / OBSERVATIONS

- **Improve:** The fixture aerator appeared to be clogged which is limiting the water pressure at the fixture. The aerator should be cleaned or replaced.

**Location of condition:** Kitchen sink sprayer.

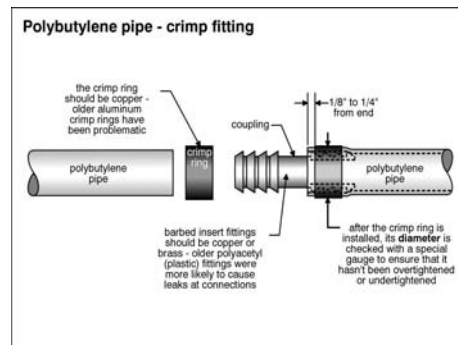
- **Improve:** The following fixtures were loose. The plumbing fixtures should be repaired as needed.

**Location of condition:** Utility sink. Also the rear exterior hose faucet is slightly loose to the wall.



- **Monitor:** When the garbage disposal was operated and odor occurred. You may need to install some type of cleaner to eradicate the odor.
- **Monitor:** There appears to be some polybutylene piping present. This type of piping has in some cases proved problematic particularly when aluminum crimp rings are in use. The piping should be monitored for potential leaks and repaired or replaced as needed.

**Location of condition:** Around the water softener. The crimps used on this piping are copper.



# Bathroom Walls & Floors

## BATHROOM WALLS & FLOORS OBSERVATIONS

---

- |  |   |                             |
|--|---|-----------------------------|
| <b>1. The surround or tiles around the tub/shower appear to be in good condition and well maintained.</b>      | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| <b>2. The finished flooring next to bathroom fixtures appears to be in good condition and well maintained.</b> | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |

## RECOMMENDATIONS / OBSERVATIONS

Please also refer to the inspection contract for a detailed explanation of the scope of this inspection.



# Water Heater

## DESCRIPTION OF WATER HEATER

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Age of tank 1: 15 yrs.  
Capacity: 40 gallon  
Energy Source Gas

## WATER HEATER OBSERVATIONS

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1. The water heater appears to be properly installed. Yes No
2. The water heater appears to be in good condition and in good working order. Yes No
3. The water heater flue appears to be in good condition. Yes No

## RECOMMENDATIONS / OBSERVATIONS

- **Monitor:** The water heater is 15 years old and may be approaching the end of its expected life. Generally, water heaters life expectancies range between 10 and 15 years. Factors such as hard water conditions can shorten this life expectancy.



# Fireplace/Wood stove/Gas Log

## DESCRIPTION OF FIREPLACE/WOOD STOVE/GAS LOG

---

In place or in use, limiting inspection:  Vented gas log  
Flue liner type:  Metal  
Type of systems present  Vented gas log

Note: It is not within the scope of this inspection to view all portions of the chimney and flue liner. Opinions about the chimney and flue liners should not be considered conclusive. If defects are noted with the chimney or flue liners a qualified chimney sweep should be contacted.

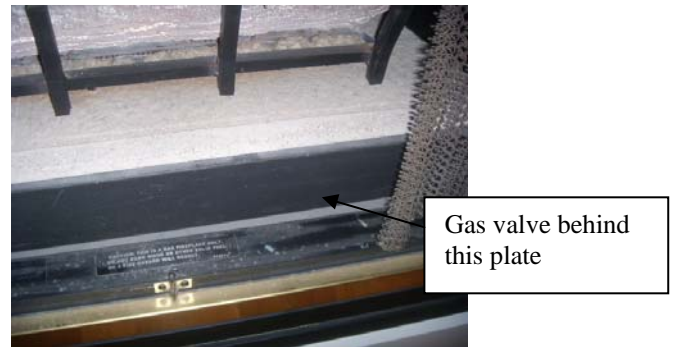
## FIREPLACE/WOOD STOVE/GAS LOG OBSERVATIONS

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1. The fireplace and/or wood stove appears to be in good condition and well maintained.  Yes  No  
 Not applicable

## RECOMMENDATIONS / OBSERVATIONS

- NOTE: There are many types and manufactures of gas logs. It is beyond the scope of this inspection to determine if the gas log is rated for the installation.
- Note: The gas valve and controls are accessed behind a plate that needs to be lifted up for access. Also, the 2 switches to the left of the gas log turn on the log and a fan.





# Electrical Supply and Service

## DESCRIPTION OF ELECTRICAL SUPPLY AND SERVICE

---

Supply Voltage Present:	<input checked="" type="checkbox"/> 120-240
Main Overload Protection:	<input checked="" type="checkbox"/> Circuit Breaker
Rating:	<input checked="" type="checkbox"/> 200 amps
Main Panel: Location:	<input checked="" type="checkbox"/> BASEMENT
Rating:	<input checked="" type="checkbox"/> 200 amps
Service Entrance Type:	<input checked="" type="checkbox"/> Underground
Conductor Type:	<input checked="" type="checkbox"/> Copper

## ELECTRICAL SUPPLY AND SERVICE OBSERVATIONS

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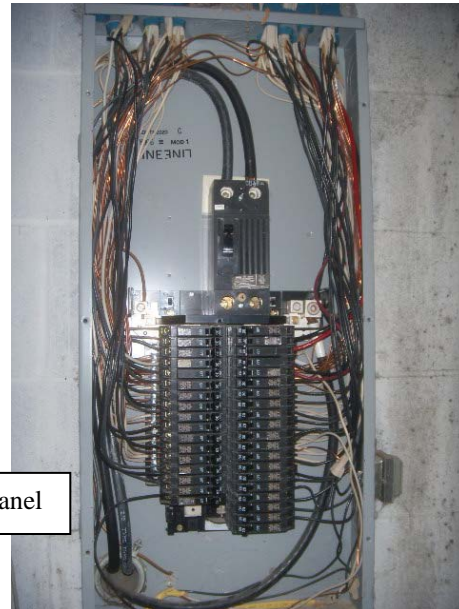
- |   |   |  |
|---|---|--|
| 1. The service entrance conductor to the main or sub-panel is of adequate size for the main overload protection.                  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 2. The service entrance conductor and/or electrical service riser to the main or sub-panel appears to be in good condition.       | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 3. The size of the electrical service or panel appears to be adequate.  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 4. The conductors within the main panel board appear to have proper overload and short circuit protection.                        | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 5. The conductors within the main and/or sub-panel appear to be properly connected.   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 6. The service equipment, water piping or other metal piping appear to be properly bonded or grounded.                            | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 7. Wiring within the main or sub-panel appears to be free of indications of conditions which are producing or could produce heat. | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 8. Circuits in the panel appear to be labeled.  | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 9. Openings within the panel appear to be properly covered.   | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |

---

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## RECOMMENDATIONS / OBSERVATIONS

- **Monitor: Safety Issue:** There are breakers, fuses, or lugs within the Main panel, and/or sub-panel (s) that service more than one wire. Each device should only service one wire. The risks of servicing more than one wire can result in loose connections, heat, and/or nuisance tripping of the over-current protection device. **The effected device appears to only be servicing the doorbell low voltage transformer and may not create a problem.**
- **Improve: Safety Issue:** The covers over the openings (knock-outs) in the main panel sub-panel (s) are missing. All openings should be covered to prevent an individual from reaching into hot portions of the panel box.



Main panel

# Electrical Branch Circuits

## DESCRIPTION OF ELECTRICAL BRANCH CIRCUITS

Type of branch circuit wiring visible:  Romex  
 Type of Conductors Visible:  Copper

## ELECTRICAL BRANCH CIRCUITS OBSERVATIONS

- |  |   |  |
|--|---|--|
| 1. The branch circuit wiring appears to be terminated on devices rated for the type of wiring present.   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 2. All accessible outlets appear to be properly wired.   | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |
| 3. All accessible conductors, where spliced, and/or exposed appear to be properly enclosed in a junction box with a cover or within a fixture. | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |
| 4. Accessible fixtures, outlets and/or switches appear to function properly.   | <input type="checkbox"/> Yes            | <input checked="" type="checkbox"/> No |
| 5. Accessible rooms within the building appear to have a sufficient number of outlets and switches and are properly covered.                   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No            |

## RECOMMENDATIONS / OBSERVATIONS

- **Monitor: Safety Issue:** All recessed light fixtures risk the potential for excessive heat build-up unless the proper type bulb and bulb wattage is used in the fixture, and unless otherwise rated for insulation cover, the insulation in the attic or ceiling cavity is kept away from the fixture.
- **Repair: Safety Issue:** There are 3 prong outlets in the building that are not grounded. Grounded outlets help prevent the potential of electrical shock, from accidental contact with energized metal equipment, and helps reduce electrical interference. All 3-prong outlets should be grounded.

**Location of condition:** East exterior GFI outlet near the living room exit door.

- **Repair: Safety Issue:** There are GFCI outlets that will not reset. An exact cause was not determined. It is likely the device will require replacement.

**Location of condition:** East exterior GFI outlet near the kitchen exit door.

- **Improve:** The bathroom fan vent is noisy.

**Location of condition:** Master bathroom fan.

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# Heating

## DESCRIPTION OF HEATING

Type of System:  Natural Gas forced air  
 Estimated age:  2 yrs.  
 Percent of Heat exchanger viewable:  Not viewable  
 Type of duct work present:  Metal  Flexible  Rigid insulated  
 House main gas line shut off located at  Gas meter

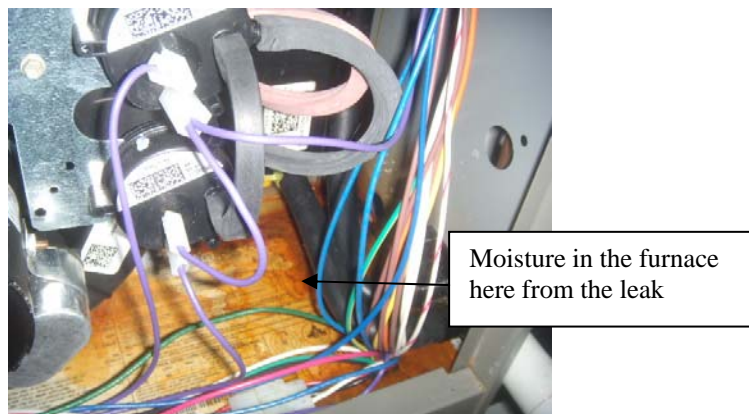
## HEATING OBSERVATIONS

- |  |   |                             |
|--|---|-----------------------------|
| 1. The furnace appears to be well maintained and operates using normal user controls.    | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| 2. The furnace appears to be properly installed.   | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
| 3. The visible furnace air distribution ducts appear functional and free of obstructions | <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |

## RECOMMENDATIONS / OBSERVATIONS

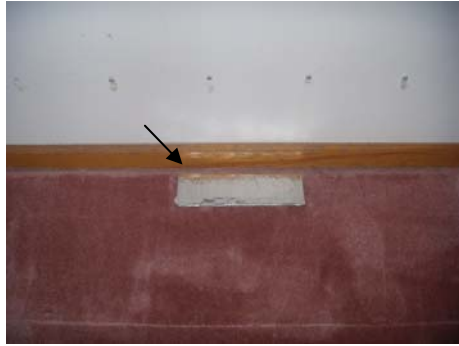
- Repair:** The furnace condensation drain piping appears to be leaking. The system should be repaired by a qualified heating technician.

**Location of condition:** There is condensate leaking into the furnace cabinet form the cooling coil above.



- **Monitor:** The supply duct registers plugged or covered.

**Location of condition:** Master bathroom closet register and some basement ceiling registers.



- **Improve:** Some of the return grills are dirty and need cleaning.



High efficiency gas furnace

16x25x1 filter

## LIMITATIONS OF HEATING INSPECTION

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As prescribed in the pre-inspection contract, this is a visual inspection only. This report will not include conditions, which maybe present but were inaccessible.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

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# Air Conditioning & Heat Pump

## DESCRIPTION OF AIR CONDITIONING & HEAT PUMP

---

Type of System: Air Conditioner  
Energy Source: Electric  
Estimated Age: 22 yrs.  
Type of duct work present: Metal Flexible Rigid insulated  
Limitations: To prevent refrigerant loss, gauges NOT applied.

## AIR CONDITIONING & HEAT PUMP OBSERVATIONS

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1. The air conditioner/heat pump appears to be well maintained and operated using normal user controls. Yes No  
Not checked
2. The air conditioner/heat pump appears to be properly installed. Yes No  
Not checked

## RECOMMENDATIONS / OBSERVATIONS

- **Monitor:** The unit is 22 years old and is beyond the end of its expected life cycle.



## LIMITATIONS OF AIR CONDITIONING & HEAT PUMP INSPECTION

---

- As prescribed in the pre-inspection contract, this is a visual inspection only. This inspection will not include conditions which maybe present but were not accessible.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

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# General Safety & Other Conditions

## GENERAL SAFETY & OTHER CONDITIONS OBSERVATIONS

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1. The decks, stoops, walks, stairs and patios appear to be in good condition and well maintained. Yes No
2. The garage(s), overhead doors, and openers appear to be in satisfactory condition and well maintained. Yes No  
Not applicable
3. Occupants and/or building design appear to address general concerns for safety. Yes No
4. The stairwells appear to have proper guardrails, Handrails and intermediate railings. Yes No

## RECOMMENDATIONS / OBSERVATIONS

- **Improve:** The garage floor shows signs of normal deterioration for homes of this age range. The floor has small cracks, lacks control joints to help control cracking and/or is chipped. The floor should be repaired as needed.
- **Improve:** The overhead garage door may need some adjusting as when it closes it makes a sound as if it were trying to bind.
- **Monitor:** The wood deck is not adequately bolted to the house band board. Ideally leg bolts would be installed within every other floor joist cavity.
- **Monitor:** The deck posts are extended below grade. It is beyond the scope of this inspection to determine the condition and/or the adequacy of the support system below ground.
- **Repair: Safety Issue:** The concrete has heaved, creating a possible trip hazard. The concrete should be repaired as needed.

**Location of condition:** Front walk.



- **Safety Issue:** Smoke detectors were not present the bedrooms.
- **Safety Issue:** Ideally carbon monoxide detectors would be present on each floor.
- **Improve: Safety Issue:** The gas piping is rusty. Rusty gas piping can contribute to gas leaks. The piping should be painted and sealed to help prevent further deterioration.

**Location of condition:**            **Outside by the meter.**



- **Improve:** The clothes dryer exhaust vent pipe has a small hole in it that should be sealed.



- **Monitor: Safety Issue:** There are safety issues associated with the staircase.

**Location of condition:**            **Basement stairs.**

- The stairwell lacks adequate headroom.**
- The access door swings into the stairwell.**

**THANK YOU FOR GIVING US AN OPPORTUNITY TO WORK FOR YOU**

## **LIMITATIONS OF GENERAL SAFETY & OTHER CONDITIONS INSPECTION**

- As prescribed in the pre-inspection contract, this is a visual inspection only. This report will not include conditions which maybe present but were not accessible.

Please also refer to the pre-inspection contract for a detailed explanation of the scope of this inspection.

**This confidential report is prepared exclusively for Sherry Holmes**

<b>Wood Destroying Insect Infestation Inspection Report</b>		Notice: Please read important consumer information on page 2	
<b>Section I. General Information</b> Inspection Company, Address, & Phone <b>Sherlock Homes Inspection Service Inc.</b> <b>3901 East Hagan Street</b> <b>Bloomington, IN 47401</b> 812-339-5828		Company's Business Lic. No <b>B12670</b>	Date of Inspection
		Address of Property Inspected	
Inspector's Name, Signature & Certification, Registration, or Lic. # <b>Lee Van Buskirk F203378</b>		Structure(s) Inspected: <b>House, garage, crawl space and basement only.</b>	
<b>Section II. Inspection Findings</b> This report is indicative of the condition of the above identified structure(s) on the date of the inspection and is not to be construed as a guarantee or warranty against latent, concealed, or future infestation or defects. Based on a careful visual inspection of the readily accessible areas of the structure(s) inspected:			
<input checked="" type="checkbox"/> <b>A. No visible</b> evidence of a wood destroying insects was observed. <input type="checkbox"/> <b>B. Visible</b> evidence of a wood destroying insects was observed as follows:			
<input type="checkbox"/> 1. Live insects (description and location): <input type="checkbox"/> 2. Dead insects, insect parts, frass, shelter tubes, exit holes, or staining: (description & location): <input type="checkbox"/> 3. <b>Visible</b> damage from wood destroying insects was noted as follows (description & location):			
<p style="color: red;"><b>NOTE: This is not a structural damage report. If box B above is checked, it should be understood that some degree of damage, including hidden damage, may be present. If any questions arise regarding damage indicated by this report, it is recommended that the buyer or any interested parties contact a qualified structural professional to determine the extent of damage and the need for repairs.</b></p>			
Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> It appears that the structure(s) or a portion thereof may have been previously treated. Visible evidence of possible previous treatment:			
The inspecting company can give no assurances with regard to work done by other companies. The company that performed the treatment should be contacted for information on treatment and any warranty or service agreement which may be in place.			
<b>Section III. Recommendations</b> <input checked="" type="checkbox"/> No treatment recommended: (Explained if Box B in Section II is checked) <input type="checkbox"/> Recommend treatment for the control of:			
<b>Section IV. Obstructions &amp; Inaccessible Areas</b> The following areas of the structure(s) inspected were obstructed or inaccessible		<b>The inspector may write out inaccessible areas or use the following key:</b>	
<input checked="" type="checkbox"/> Basement <b>1,3,4,5,6,24</b> <input checked="" type="checkbox"/> Crawl Space <b>5,11,24</b> <input checked="" type="checkbox"/> Main Level <b>1,3,4,6,9</b> <input checked="" type="checkbox"/> Attic <b>5,11,24</b> <input checked="" type="checkbox"/> Garage <b>1,3,6,7,14</b> <input checked="" type="checkbox"/> Exterior <b>16,17</b> <input type="checkbox"/> Porch <input type="checkbox"/> Addition <input type="checkbox"/> Other		1. Fixed ceiling      13. Only visual access 2. Suspended ceiling      14. Cluttered condition 3. Fixed wall covering      15. Standing water 4. Floor covering      16. Dense vegetation 5. Insulation      17. Exterior siding 6. Cabinets or shelving      18. Window well covers 7. Stored items      19. Wood pile 8. Furnishings      20. Snow 9. Appliances      21. Unsafe conditions 10. No access or entry      22. Rigid foam board 11. Limited access      23. Synthetic stucco 12. No access beneath      24. Duct work, plumbing, and/or wiring	
<b>Section V. Additional Comments and Attachments</b> (these are an integral part of the report)			
Attachments			
<b>Signature of Seller(s)</b> or Owner(s) if refinancing. Seller acknowledges that all information regarding W.D.I. infestation, damage, repair, and treatment history has been disclosed to the buyer.  <b>X</b>		<b>Signature of Buyer.</b> The undersigned hereby acknowledges receipt of a copy of both page 1 and page 2 of this report and understands the information reports.  <b>X</b>	

## Important Consumer Information Regarding

### The Scope and Limitations of the Inspection

Please read this entire page as it is part of this report. This report is not a guarantee or warranty as to the absence of wood destroying insects nor is it a structural integrity report. The inspector's training and experience do not qualify the inspector in damage evaluation or any other building construction technology and/or repair.

- About the Inspection:** A visual inspection was conducted in the readily accessible areas of the structure(s) indicated (see Page 1) including attics and crawlspaces which permitted entry during the inspection. The inspection included probing and/or sounding of unobstructed and accessible areas to determine the presence or absence of visual evidence of wood destroying insects. The WDI inspection firm is not responsible to repair any damage or treat any infestation at the structure (s) inspected, except as may be provided by separate contract. Also, wood destroying insect infestation and/or damage may exist in concealed or inaccessible areas. The inspection firm cannot guarantee that any wood destroying insect infestation and/or damage disclosed by this inspection represents all of the wood destroying insect infestation and/or damage which may exist as of the date of the inspection. *For purposes of this inspection, wood destroying insects include: termites, carpenter ants, carpenter bees, and reinfesting wood boring beetles. This inspection does not include mold, mildew or noninsect wood destroying organisms.* This report shall be considered invalid for purposes of securing a mortgage and/or settlement of property transfer if not used within ninety (90) days from the date of inspection. *This shall not be construed as a 90-day warranty.* There is no warranty, express or implied, related to this report unless disclosed as required by state regulations or a written warranty or service agreement is attached.
- Treatment Recommendation Guidelines Regarding Subterranean Termites:** FHA and VA require treatment when any active infestation of subterranean termites is found. If signs of subterranean termites – but no activity—are found in a structure that shows no evidence of having been treated for subterranean termites in the past, then a treatment should be recommended. A treatment may also be recommended for a previously treated structure showing evidence of subterranean termites – but no activity – if there is no documentation of a liquid treatment by a licensed pest control company within the previous five years unless the structure is presently under warranty or covered by a service agreement with a licensed pest control company.
- Obstructions and Inaccessible Areas:** No inspection was made in areas which required the breaking apart or into, dismantling, removal of any object, including but not limited to: moldings, floor coverings, wall coverings, siding, fixed ceilings, insulation, furniture, appliances, and/or personal possessions; nor were areas inspected which were obstructed or inaccessible for physical access on the date of inspection. Your inspector may write out inaccessible areas or use the key in Section IV. Crawl spaces, attics, and/or other areas may be deemed inaccessible if the opening to the area is not large enough to provide physical access for the inspector or if a ladder was required for access. Crawl spaces (or portions thereof) may also be deemed inaccessible if there is less than 24 inches of clearance from the bottom of the floor joists to the surface below. If any area which has been reported as inaccessible is made accessible, the inspection company may be contacted for another inspection. An additional fee may apply.
- Consumer Maintenance Advisory Regarding Integrated Pest Management for Prevention of Wood Destroying Insects.** Any structure can be attacked by wood destroying insects. Homeowners should be aware of and try to eliminate conditions which promote insect infestation in and around their structure(s). Factors which may lead to wood destroying insect infestation include: earth to wood contact, foam insulation at foundation in contact with soil, faulty grade, improper drainage, firewood against structure(s), insufficient ventilation, moisture, wood debris in crawlspace, wood mulch or ground cover in contact with the structure, tree branches touching structure(s), landscape timbers and wood decay. Should these or other conditions exist, corrective measures should be taken in order to reduce the chances of infestation of wood destroying insects and the need for treatment.
- Neither the inspecting company nor the inspector has had, presently has, or contemplates having any interest in the property inspected.**

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Form NPCA-1 is obsolete after 12/31/04.